

Hinesburg Official Map - Sheet 1 of 2

Adopted February 5, 2020
Effective February 26, 2020



1 inch = 775 feet
(at 11"x17" map size)

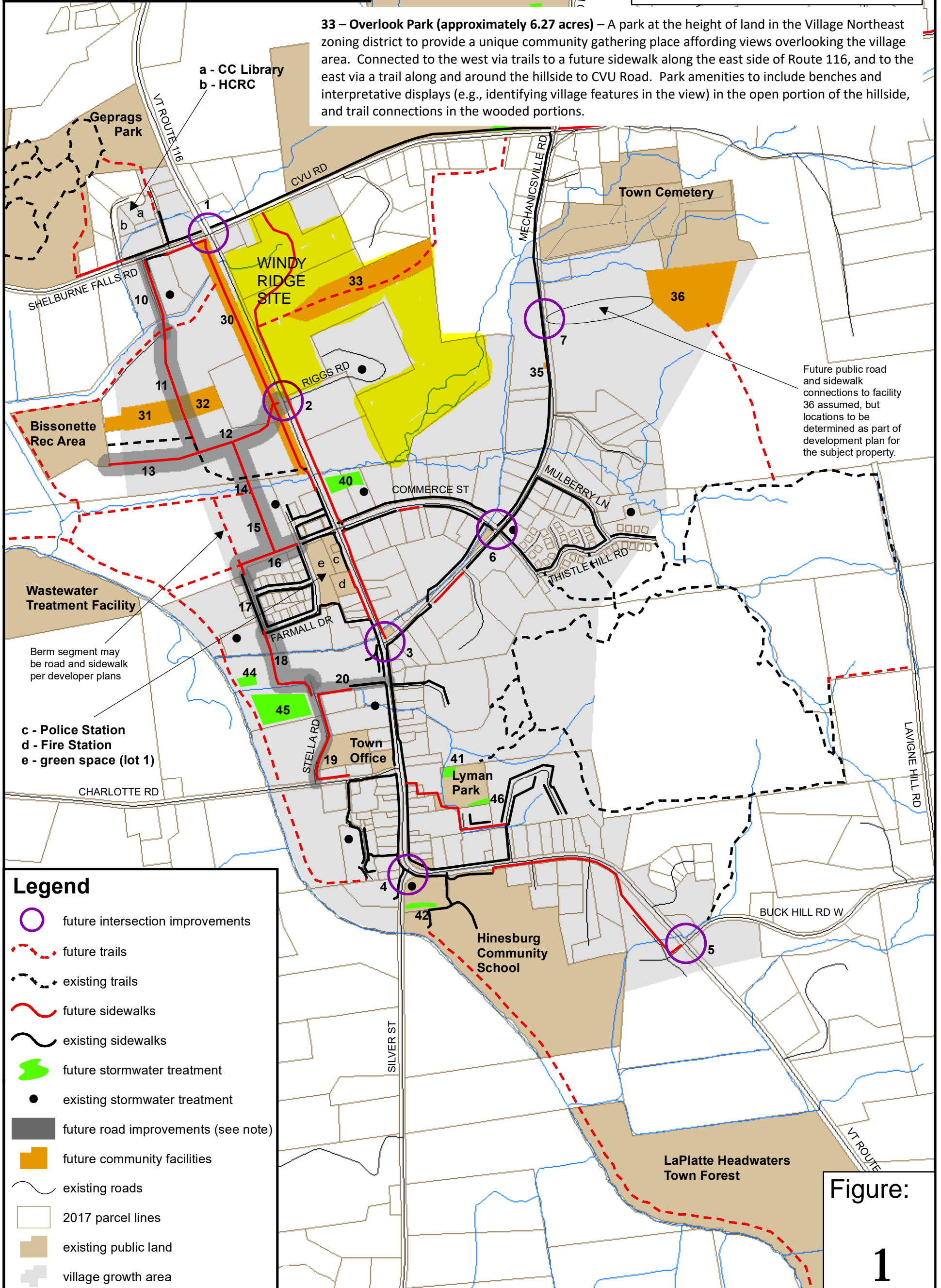
map date 2/25/2020
by Hinesburg Planning & Zoning

See Community Facility Description Document for details on the numbered future community facilities.

Locations for future improvements approximate only. Implementation or acceptance of specific elements is at the discretion of the Select Board.

New roads shown with 200' wide buffer; improvements to existing roads shown with 100' wide buffer. Roads will not occupy entire buffer shown. Buffer intended to allow for traffic calming and width adjustment on existing roads, and for non-linear road layout for slower speeds on new roads.

33 – Overlook Park (approximately 6.27 acres) – A park at the height of land in the Village Northeast zoning district to provide a unique community gathering place affording views overlooking the village area. Connected to the west via trails to a future sidewalk along the east side of Route 116, and to the east via a trail along and around the hillside to CVU Road. Park amenities to include benches and interpretative displays (e.g., identifying village features in the view) in the open portion of the hillside, and trail connections in the wooded portions.



Future public road and sidewalk connections to facility 36 assumed, but locations to be determined as part of development plan for the subject property.

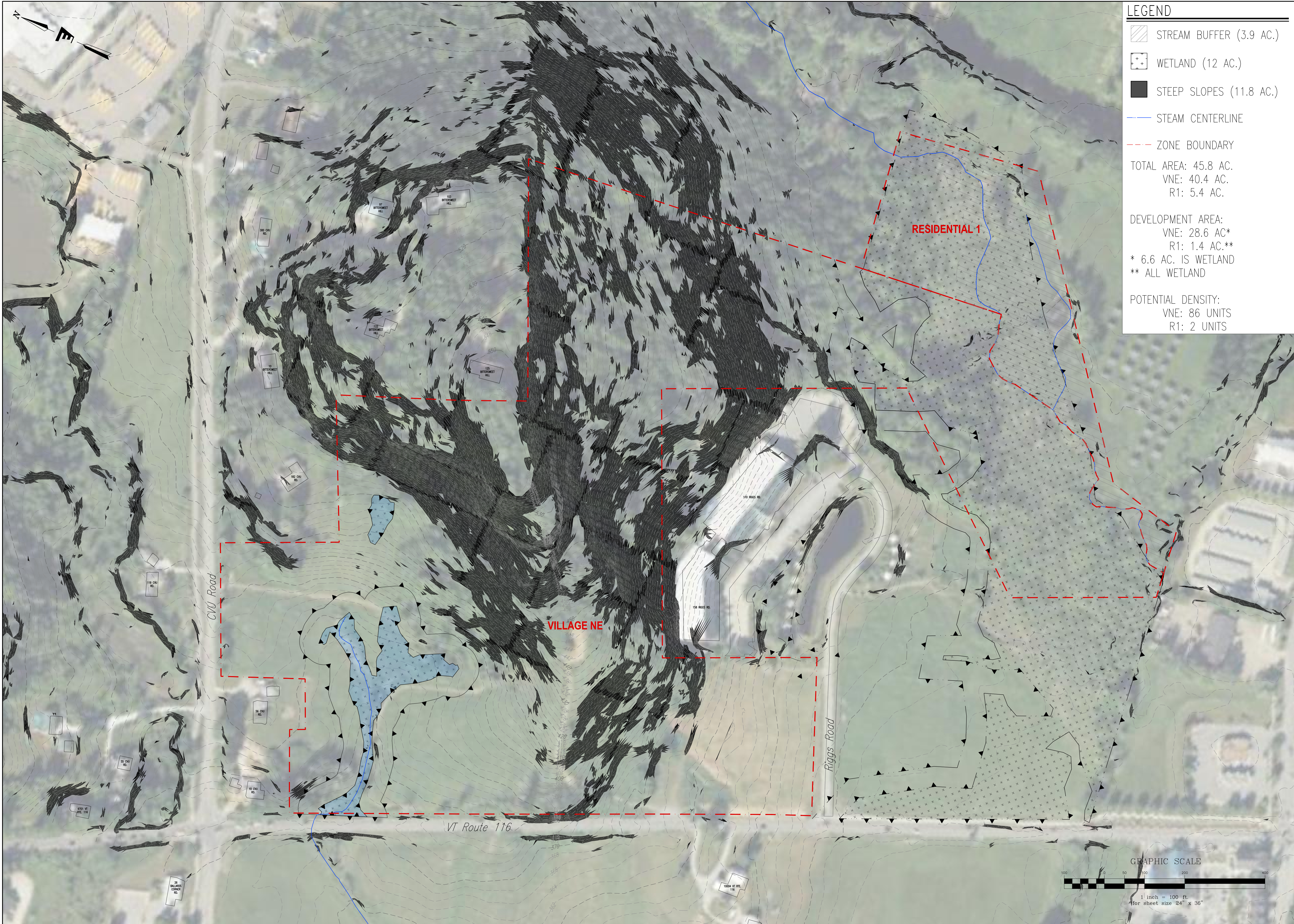
Berm segment may be road and sidewalk per developer plans

c - Police Station
d - Fire Station
e - green space (lot 1)

Legend

- future intersection improvements
- future trails
- existing trails
- future sidewalks
- existing sidewalks
- future stormwater treatment
- existing stormwater treatment
- future road improvements (see note)
- future community facilities
- existing roads
- 2017 parcel lines
- existing public land
- village growth area

Figure:



LEGEND

- STREAM BUFFER (3.9 AC.)
- WETLAND (12 AC.)
- STEEP SLOPES (11.8 AC.)
- STREAM CENTERLINE
- ZONE BOUNDARY

TOTAL AREA: 45.8 AC.
 VNE: 40.4 AC.
 R1: 5.4 AC.

DEVELOPMENT AREA:
 VNE: 28.6 AC*
 R1: 1.4 AC.**

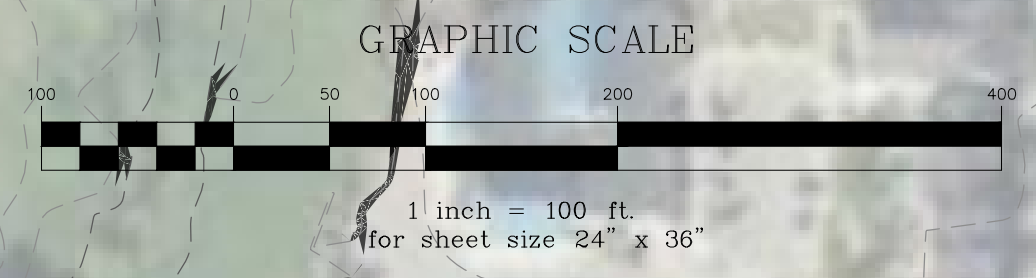
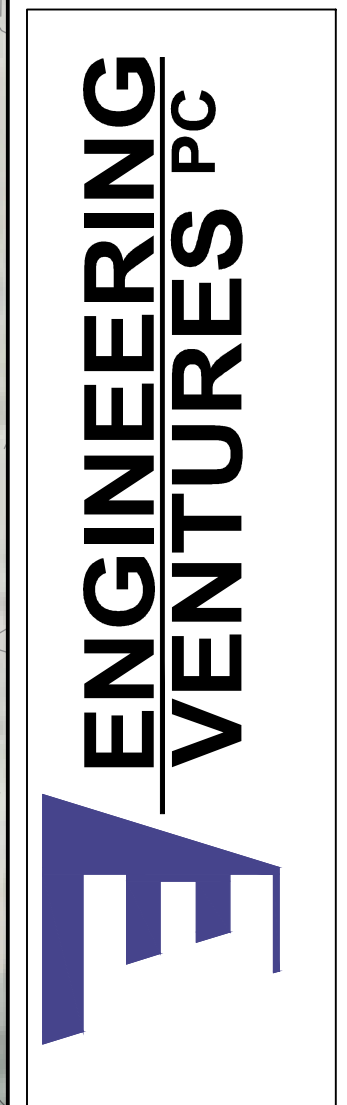
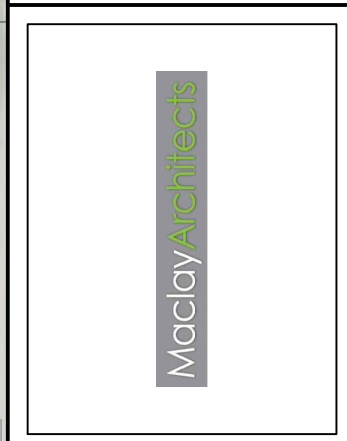
* 6.6 AC. IS WETLAND
 ** ALL WETLAND

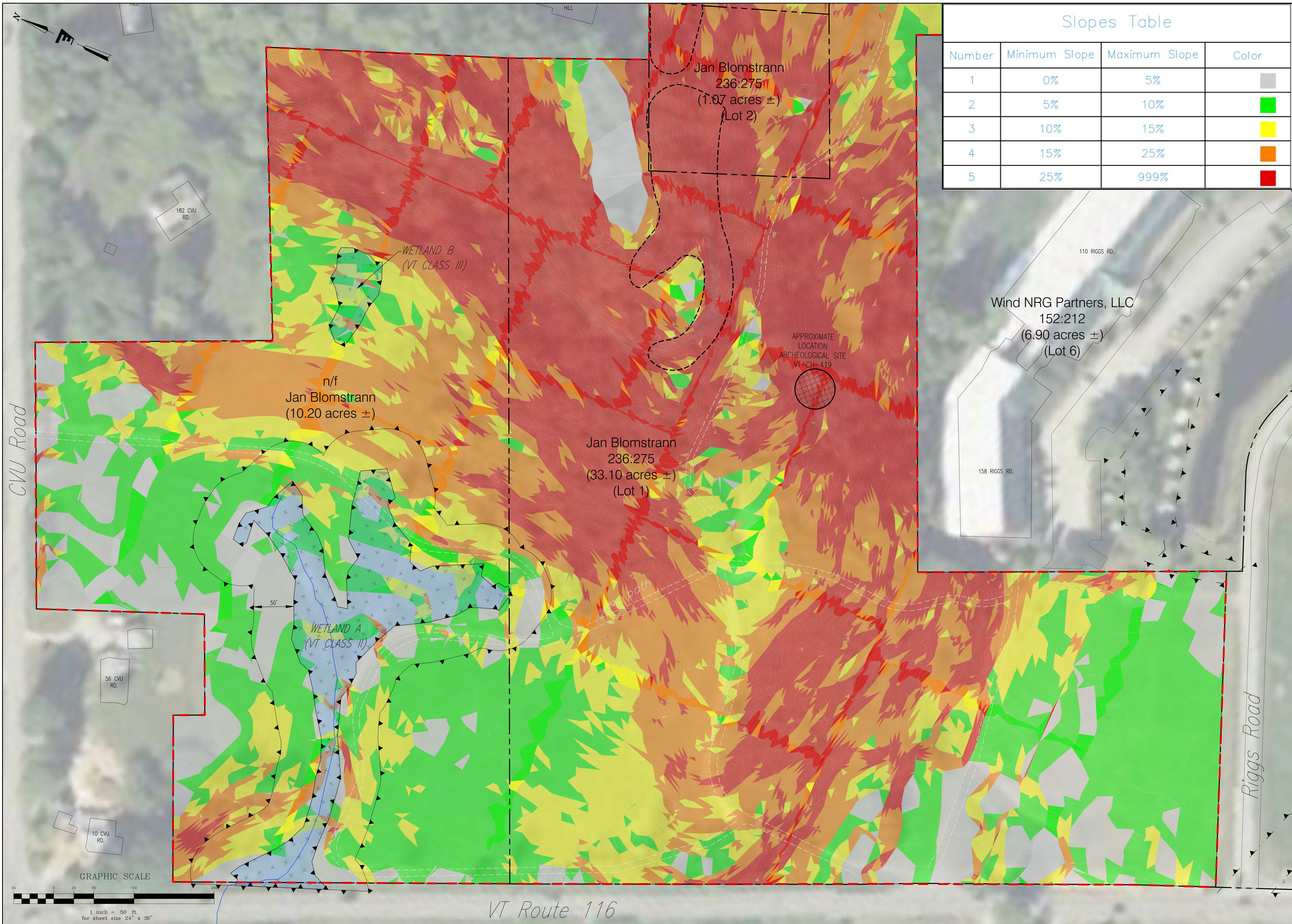
POTENTIAL DENSITY:
 VNE: 86 UNITS
 R1: 2 UNITS

Figure: 5

EV #: 22189
 Date: 2023/10/03
 Scale: 1"=100'

Site Constraints
 Windy Ridge Hinesburg, VT





Slopes Table

Number	Minimum Slope	Maximum Slope	Color
1	0%	5%	Grey
2	5%	10%	Green
3	10%	15%	Yellow
4	15%	25%	Orange
5	25%	999%	Red

Figure: 4

EV #: 22189 Date: 2023/10/03 Scale: 1"=50'

Topography
Windy Ridge Hinesburg, VT

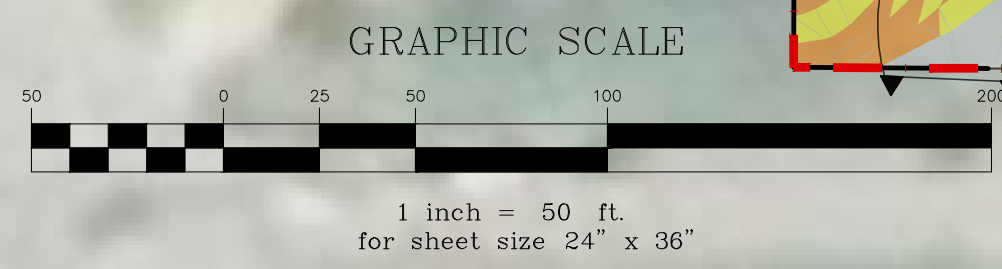
Western Landcare Architects

evernorth

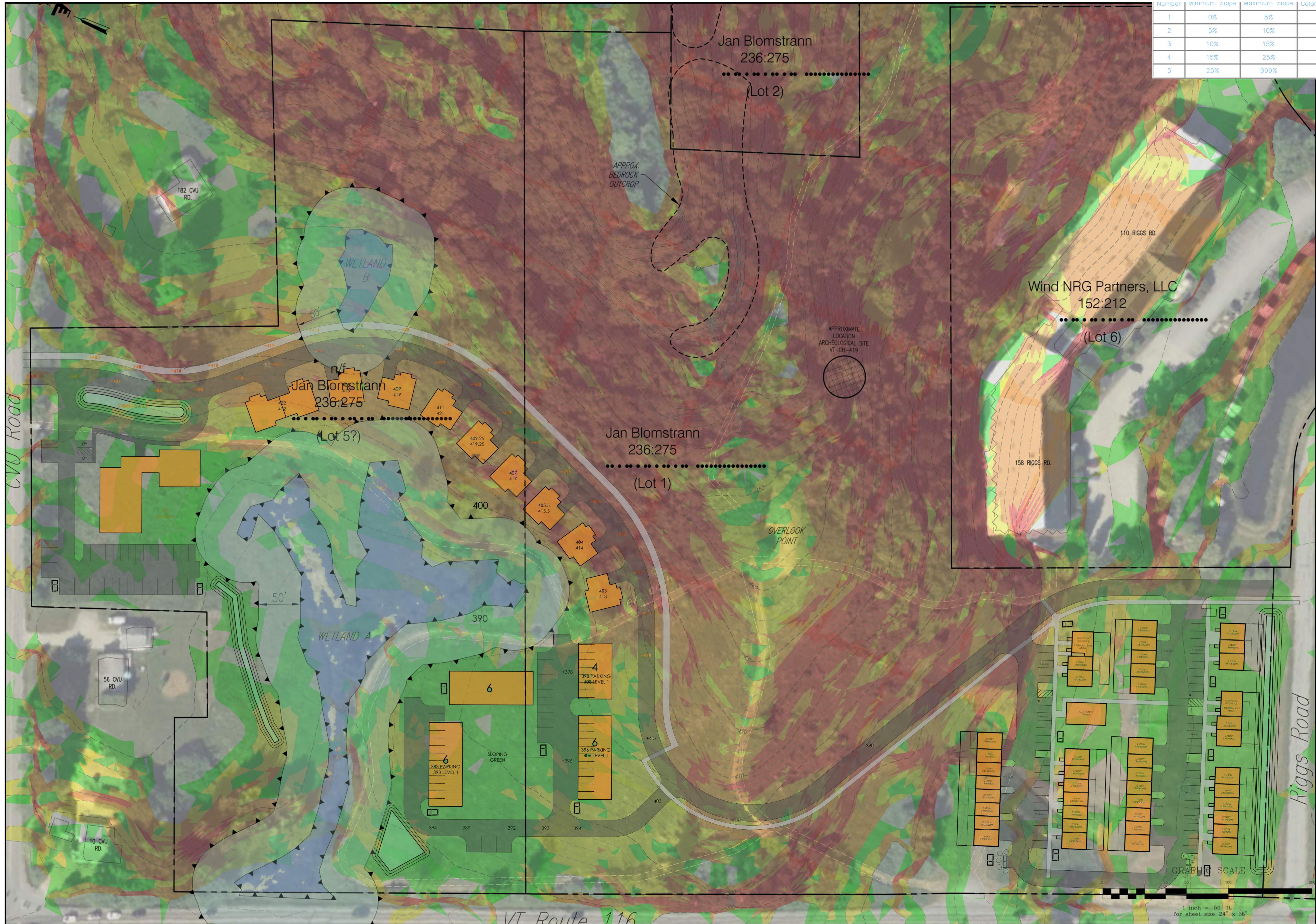
CHAMPLAIN HOUSING TRUST

Macleay Architects

ENGINEERING VENTURES PC

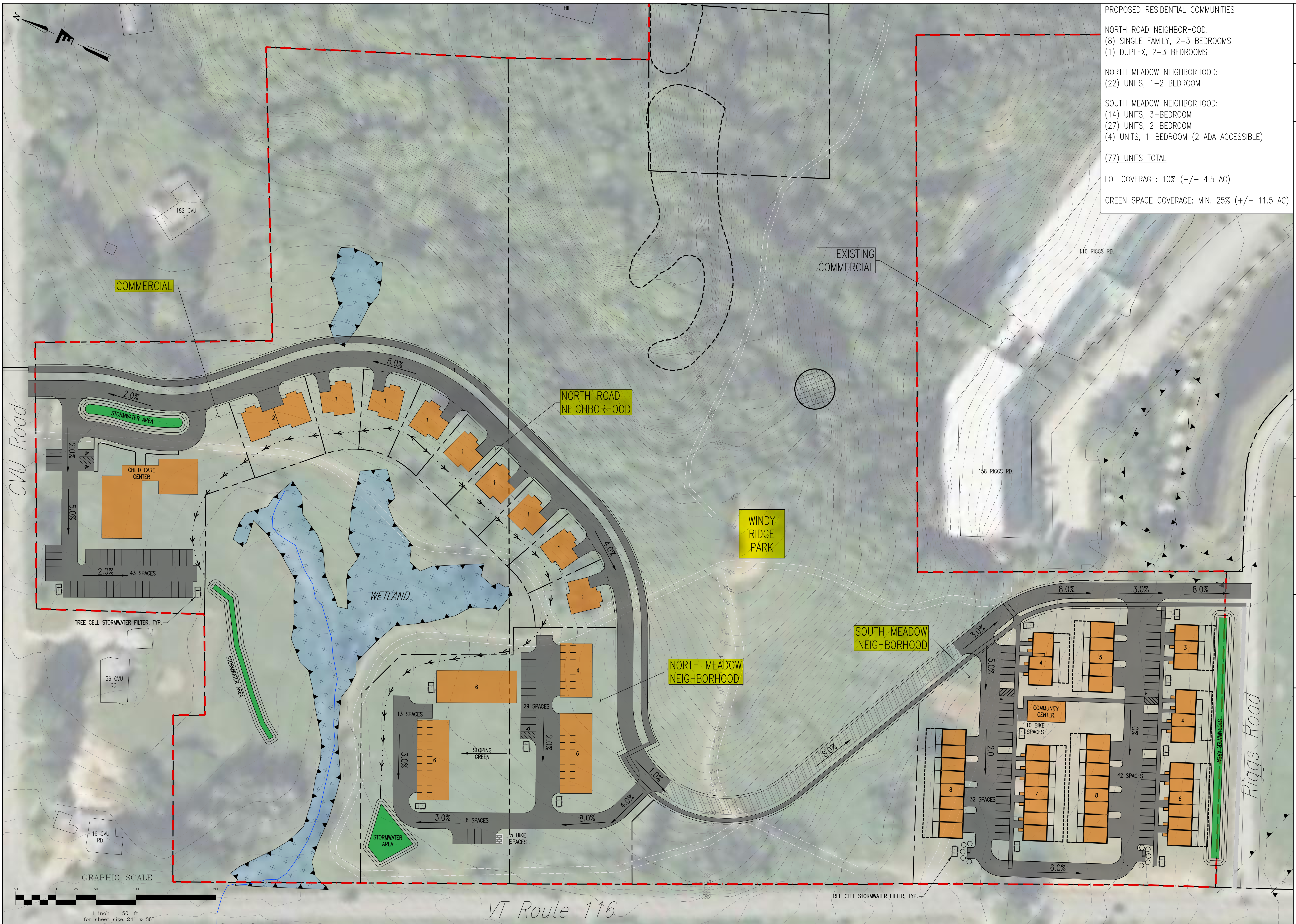


VT Route 116



Number	Minimum Slope	Maximum Slope	Color
1	0%	5%	Light Green
2	5%	10%	Medium Green
3	10%	15%	Yellow-Green
4	15%	25%	Orange
5	25%	999%	Red

1 inch = 50 ft.
for sheet size 24" x 36"



PROPOSED RESIDENTIAL COMMUNITIES—

NORTH ROAD NEIGHBORHOOD:
 (8) SINGLE FAMILY, 2-3 BEDROOMS
 (1) DUPLEX, 2-3 BEDROOMS

NORTH MEADOW NEIGHBORHOOD:
 (22) UNITS, 1-2 BEDROOM

SOUTH MEADOW NEIGHBORHOOD:
 (14) UNITS, 3-BEDROOM
 (27) UNITS, 2-BEDROOM
 (4) UNITS, 1-BEDROOM (2 ADA ACCESSIBLE)

(77) UNITS TOTAL

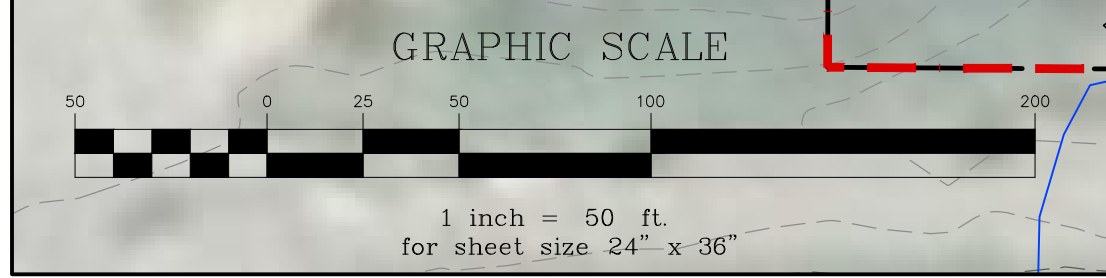
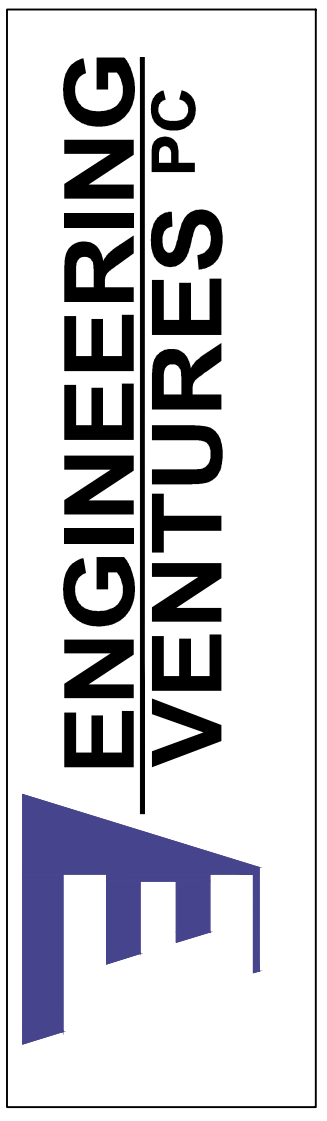
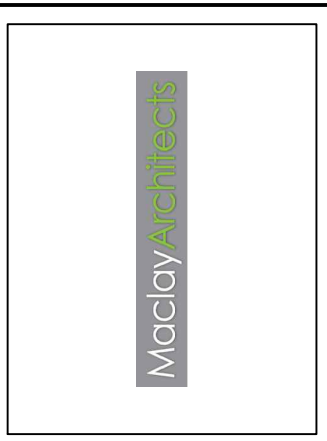
LOT COVERAGE: 10% (+/- 4.5 AC)

GREEN SPACE COVERAGE: MIN. 25% (+/- 11.5 AC)

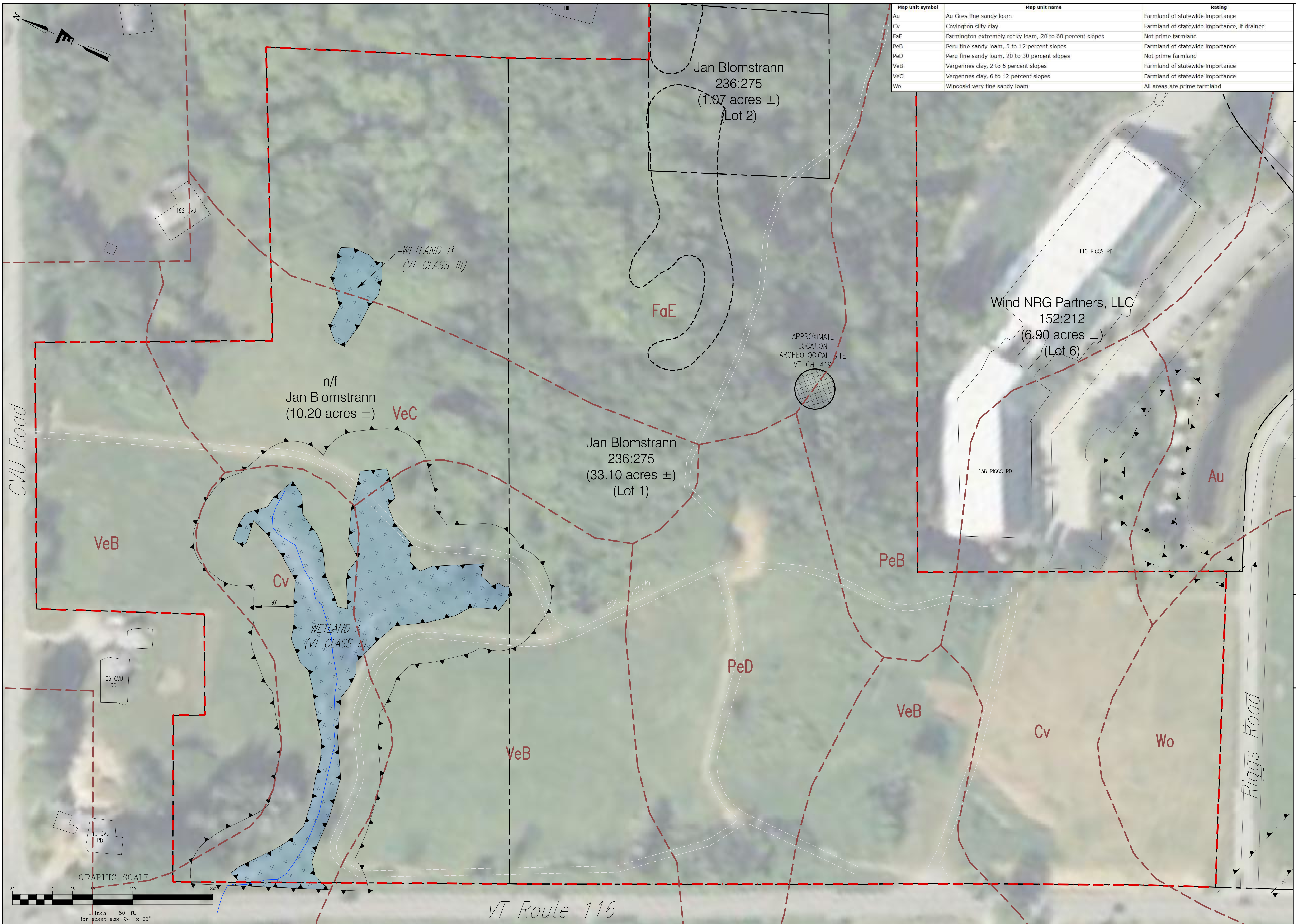
Figure: 2

EV #: 22189
 Date: 2023/10/03
 Scale: 1"=50'

Site Plan
 Windy Ridge Hinesburg, VT



VT Route 116



Map unit symbol	Map unit name	Rating
Au	Gres fine sandy loam	Farmland of statewide importance
Cv	Covington silty clay	Farmland of statewide importance, if drained
FaE	Farmington extremely rocky loam, 20 to 60 percent slopes	Not prime farmland
PeB	Peru fine sandy loam, 5 to 12 percent slopes	Farmland of statewide importance
PeD	Peru fine sandy loam, 20 to 30 percent slopes	Not prime farmland
VeB	Vergennes clay, 2 to 6 percent slopes	Farmland of statewide importance
VeC	Vergennes clay, 6 to 12 percent slopes	Farmland of statewide importance
Wo	Winooski very fine sandy loam	All areas are prime farmland

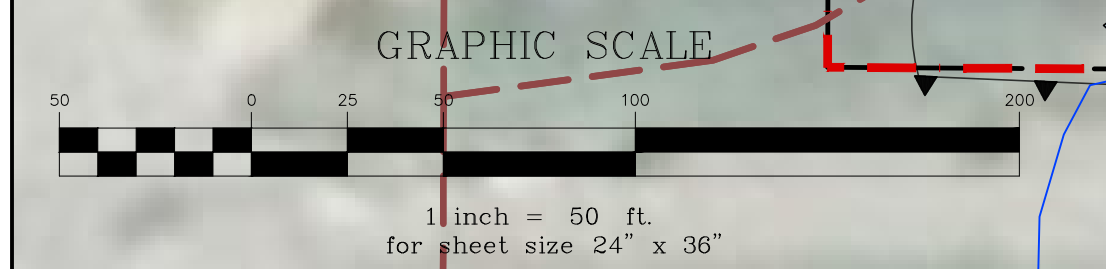
Figure: 3

EV #: 22189
Date: 2023/10/03
Scale: 1"=50'

Soils
Windy Ridge Hinesburg, VT

Western Landcare Architects
evernorth
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ENGINEERING VENTURES PC



VT Route 116



A



B



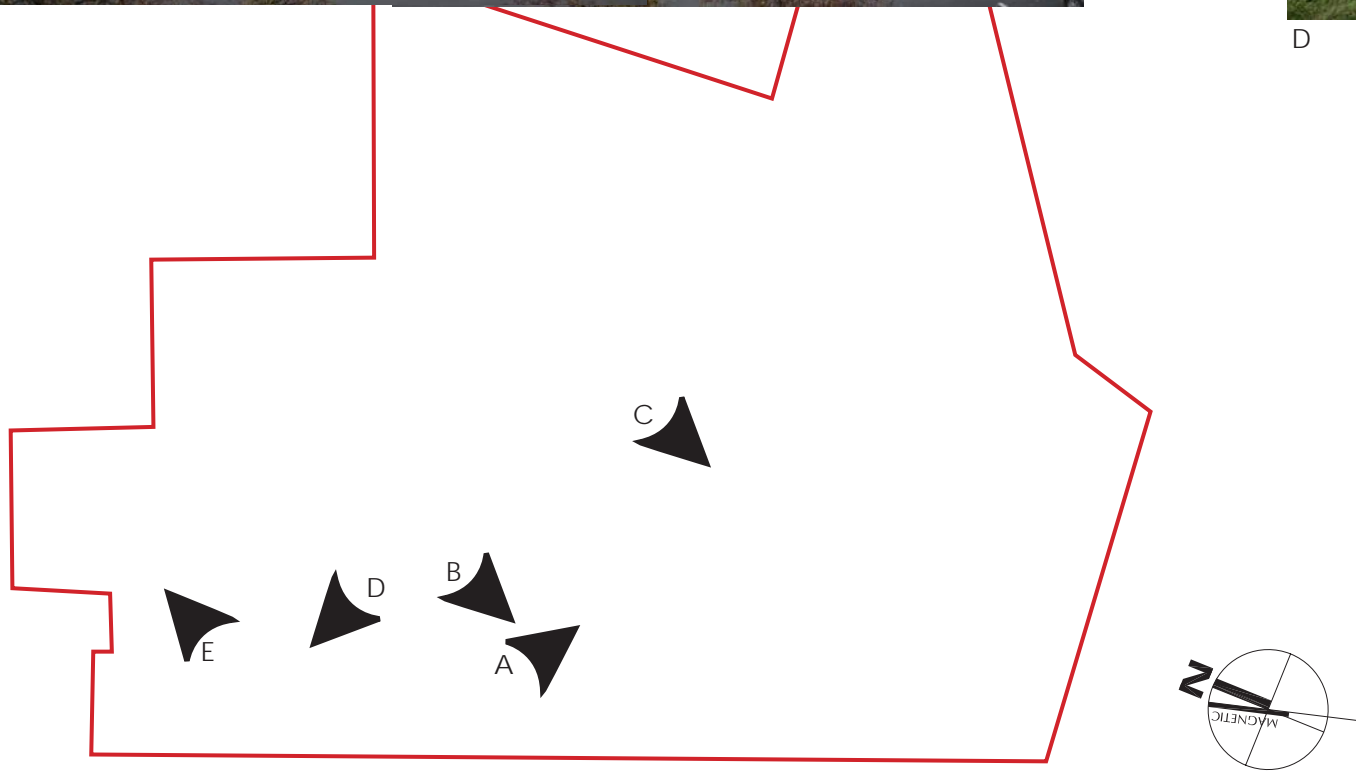
C



D



E





- 1. Light Industrial / Office
- 2. Campus Center
- 3. Meadow Residential

